



4 Seasons Home Inspection, LLC

150 Maple Avenue, #128, South Plainfield, NJ 07080

www.4SeasonsHI.com 1-877-547-7383

Buyer

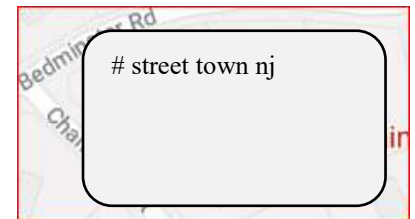
street

Town NJ xxxxx

Please carefully read the following inspection report in its entirety and the Scope of Inspection. The inspection was a visual inspection and performed accordingly to the New Jersey Standards of Practice 13:40-15.16 in readily accessible areas at time of inspection. Inspection behind walls, ceilings, flooring or other covered surfaces is excluded from a visual home inspection. That would involve destructive measures to see behind them. A copy was emailed to you if email is available and enclosed with your hard copies for your review if paper copy requested. The home inspection report and any other applicable reports (radon, wood destroying insects) are emailed to you, your attorney or realtor if indicated by initialing appropriate areas on last page of Pre-inspection agreement. If a hard copy was ordered on the last page of your agreement, then and only then will a hard copy be mailed via USPS. Please read all addenda and supplementary attachments. Pursuant to 13:40-15.2 Definitions "Home inspection report," all items in report must not be ignored where recommendations made regarding the need to repair, replace or monitor a system or component or to obtain examination or evaluation and analysis by a qualified professional, tradesman or service technician. Please call us with any questions or concerns that you may have so that they may be promptly answered before your closing. If recommendations not acted upon or followed up with sellers before closing, it will be solely your responsibility for repairs and costs incurred by not following report recommendations.

RECEIPT

Inspection Date: January 21, 2018 Sunday 10am- 2:10pm
 Client Name: Buyer (buyer#gmail.com)
 Emails: lawyer@gmail.com
 Inspection Address: # street town nj xxxxx
 Inspected by: Linda Geczi home inspection lic. #24GI00061500



BUILDING DATA

Approximate Age: ~1986 (32yrs.)
 Style: Single family
 Main Entrance Faces: W
 State of Occupancy: Occupied
 Weather Conditions: 30°F, cloudy/overcast
 Ground cover: snow, muddy

Home Inspection:	\$---.00
Termite:	INCL.
Radon	\$---.00
Total:	\$ ----.00

Paid by: Check #201

Cc: Lawyer
Cc: Realtor

Main Concerns (p.2-4) and detailed report follows this page (5-45)

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Recommend qualified state registered contractors or licensed professionals further evaluate, address the following defects/deficiencies and/or make repairs and inspect inaccessible areas **before closing and contractual limitations** or obligations.¹ The items in the report are **“Recommendations”** and it is up to the buyer and seller to discuss these and is **not a mandate or a code inspection**. Responsibilities of repairs, negotiations, appraisals, obtaining all closed permits for work done to home, property survey/boarders, mortgages, costs of repairs/estimates, advise on purchase, etc. **are not** part of a home inspection and should be discussed with your **Attorney**. Refer to Standards of Practice 13:40-15.16 and Pre-Inspection Agreement 13:40.15.15. **READ entire REPORT and recommendations.****

1. **STRUCTURE**: There were sloped floors and canted doorways in the home. The lally columns in basement were in poor condition; blistered, exfoliation, water weeping through the rust when blisters touched, rust/corrosion on floor and columns. Columns should be maintained in rust/corrosion free painted condition; these are structural components under the main beams or girders. There were approximately 8 lally columns in basement and similar poor condition; compromised structural integrity. Recommend a structural carpenter evaluate all columns for replacement, advise on flooring and canted doorways before closing & contractual limitations. All columns should have a vapor barrier under base to prevent wicking water into the columns. There were foundation cracks visible on exterior and some in the basement. The basement was filled with boxes on floor and perimeter and well as shelving; inaccessible. Recommend a structural mason or building contractor evaluate all foundation cracks, missing mortar and advise on repairs.
2. **GARAGE DOOR/BALCONY**: The auto reverse on both door worked when tested. The overhead door where the car was parked made a noise when the door was returned to the down position and the hinge popped off the mechanism. There was no bolt & cotter pin on the hinge part that came off and observed that it was also missing on the main metal bar attached to the door frame; unsafe/dangerous. The metal bar can potentially come down or apart from overhead with missing parts. Do not open this door until a garage door installer evaluates & repairs all door components where missing. Recommend having both overhead door openers & components checked and retest both overhead doors. The upper balcony had missing baluster; safety hazard/dangerous. Recommend a carpenter add baluster/repair for safety.
3. **DRIVEWAY/WALKS/TRIP HAZARD**: The driveway was cracked, damaged, low spots/depressions, uneven areas, uneven/trip hazard and dirt visible in cracks or damaged areas. Recommend a driveway contractor evaluate driveway for replacement and advise on drainage by garage. The paver walks were settled, low spots, uneven, tilted, moss build up, etc; trip hazard. Recommend a sidewalk contractor evaluate/level/repair all walks. The first step up off the walkway to the front steps was too high; trip hazard. Recommend having the walk adjusted to correct the first step up for safety. Steps should be maintained in crack free repaired. The front steps had missing mortar, cracks or gaps; recommend a mason evaluate/repair all cracks, gaps or separations.

4. **HVAC (HEATING & COOLING) and PLUMBING** : Recommend opening up registers in all rooms; several were closed. The units were approximately 8 and 11 yrs. old. A typical manufacturer's warranty is often 10 yrs. limited warranty; ask if these are under a transferrable warranty. Obtain closed permits for these systems as required by the township. Recommend a carpenter evaluate the attic and advise on repairs or installation of a safe catwalk to access the furnace (for servicing & maintenance of the HVAC); unsafe flooring/footing in attic. Add HVAC ties on ducts where missing in attic and add proper metal duct tape where tape dried out in basement. The PVC condensate piping was discharging into the channel of the free floating slab floor; water & slime in the channel. Recommend a condensate pump and discharge to the sump pump to remove water out of the basement. Recommend a vent screen PVC exhaust/vent for the furnace to keep out animals, etc. Recommend having the HVAC (heating & cooling) serviced & maintained and plan and budget for repairs & replacements due to age. There was slow drainage in upper bathroom. There were calcium/mineral deposits on fixtures or plumbing in the home; indicative of hard water. There was heavy corrosion on the drain basket/garbage disposer connector; have a plumber replace. Recommend a licensed plumber evaluate corrosion under kitchen sink, drainage in upper bathroom and calcium/mineral deposits on fixtures. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time. Recommend having the water tested by a water softener company and fixtures evaluated by a licensed plumber before closing to ensure proper flow/water pressure and drainage.
5. **EXTERIOR/SIDING/TRIM ROT**: There was visible siding & trim rot on wood exterior and numerous shiny nails added to the wood siding. There were separated wood trim and gaps. There were some exposed open webbing of brick veneer; water entry points. Recommend a siding or exterior contractor evaluate extent of wood rot/damage, trim junctures/gaps/separation, nails, open webbing on brick veneer and advise on all repairs and the nails. Recommend caulking and sealing all junctures. Discuss flashing, wrapping and PVC (Azek) type trims and exterior components with the siding contractor to upgrade or eliminate ongoing wood rot or water damage.
6. **CARPENTER ANT**: There was observed carpenter ant frass in garage and basement. See separate NPMA-33 Wood destroying insect report.
7. **TV DISH/ROOF STAINS**: There was a TV dish mounted on roof. These items should be removed; not recommended on roofs or chimneys. These TV mounted components tend to leak at nail or mounting hardware. Recommend the service provider evaluate for alternative mounting if keeping the TV dish and a roofer evaluate the shingles for replacement where nails or hardware installed for the TV Dish. There were several water stains on some rafters or roof sheathing in attic; inaccessible or limited unsafe flooring. Recommend following up with sellers to see if stains were old and prior to the new roof and/or have roofer verify not active stains or leaking. Roof should have maximum ventilation; check attic temperature when warmer to verify proper ventilation. Recommend having passive vents cleaned; some nesting or debris partially visible on the right vent. These vents should be maintained and clean for air flow. Hot humid attic will shorten life of roof and potentially cause heat & moisture damage to attic structure. Obtain the closed permits for roof from township and any warranty from roofer if applicable and transferrable.

8. **GRADING & DRAINAGE/SEEPAGE:** Basement, crawl and garage shows signs of water penetration, seepage or wet conditions; efflorescence, water stains, moisture on foundation walls and around the channel on free floating slab floor. Recommend a condensate pump for the furnace and discharge to the sump pit for removal. The condensate piping from the furnace was piped to the channel in slab floor; water stains and dark staining in channel and up the lower walls. The sump pump was filled with water; sump float lifted and water removed with pump. There was a battery back up connected to the sump pump. Recommend a cover for the sump pit for safety. Consider a clear cover to view inside of sump pit. Recommend a grading & drainage contractor and wet basement/damp proofer evaluate the property and basement and advise on corrections and water management systems (ex- perimeter/French drains, dehumidifiers, exterior controls, etc.). Recommend observing proper grading and drainage on exterior to avoid water infiltration. Recommend cleaning and maintaining gutter and leaders for proper water drainage. Recommend a dehumidifier for moisture control as good practice.
9. **PERMITS:** Recommend obtaining closed permits for systems & components as required by the township (ex- roof, deck, HVAC (heating & cooling), water heater, etc.).

¹ **Pursuant to NJAC 13:40-15.2 Definitions:**

“Material defect” means a condition, or a functional aspect, of a structural component or system that is readily ascertainable during a home inspection that substantially affects the **value, habitability, or safety of the dwelling**, but does not include decorative, stylistic, cosmetic, or aesthetic aspects of the system, structure or component.

**** Any and All recommendations noted in this report either written or verbal, advised either further evaluation, repair and/or replacement should be completed prior to the home inspection contingency expiring and/or any other contractual obligation expires.****

SUMMARY

Repairs are recommended for any comments or defects that are stated in this report. Every home must be regularly maintained and will require repairs. Problems will occur and things will break. This report is designed to help reduce the possibility, but will not eliminate them from happening. Issues can and will arise at any time. Budget accordingly to maintain the home. Recommend checking with local authorities/townships/city/Boro/county/state for required & closed permits on additions and alterations before closing & contractual obligations. ***Please be advised that it is important to read the entire report and the remarks pages that are sent separately to the client. These remarks pages contain important maintenance information that the client needs to be aware of.*** All homes will need repairs, routine maintenance and upgrades over the course of its life. Addressing plumbing, heating, electrical, grading & drainage, roof/gutters and other mechanical problems or issues as they occur, with qualified registered contractors and/or licensed professionals, should be done to keep home maintained properly. Older homes will often require structural upgrades when renovations are made. These will be dictated by the engineer and or architect designing the renovation or modification to bring structure up to current building practices and township specifications and as per the local, county or state building codes. A home inspection is **NOT** a code inspection. It is recommended to obtain all closed township permits for history of home before closing & contractual limitations. Recommend a "Home Warranty" or maintenance service; check with the realtor, lawyer or insurance companies in the service areas to help cover costs of repairs, replacements and schedule service/maintenance on all systems in the home. Roof leaks are number one cause of water damage to interior of home. Damage can often be concealed inside walls of interior and often revealed either when renovations are done or when water issue is ongoing for a period of time. Water damage can include structural as well as environmental manifestations such as mold and mildew among others. All roofs should be inspected yearly, gutters cleaned several times a year. These systems must be maintained, repaired or replaced as per the tradesman, contractor or professional to provide a water tight cladding to protect the home. Often a damage found does not necessarily correspond to the roof directly above, but at some other part of the roof. Water can travel below the surfaces of roof and end up in any number of places that are hidden or concealed. Roof penetrations, plumbing vents, skylights, chimneys, etc. must be checked yearly for leaks. A general visual home inspection cannot open up walls, ceilings, flooring or guess what is behind them. This uncertainty is always possible when roof, flashing, siding and all exterior systems are not maintained.

"If there is anything in the report that you do not understand you must contact us promptly prior to closing. If not addressed, any ignored item(s), misunderstood or overlooked as to their importance and implication(s,) can and frequently do, result in negative outcome and incur costs to repair or replace." Please read **REMARKS addendum** as it is part of the report and contains important information. Any areas reported as inaccessible and not inspected or evaluated must be made accessible and inspected prior to the closing.

All items must be addressed and repaired prior to closing & contractual limitations.

Recommend qualified registered contractors or licensed professionals further evaluate, address defects and/or make repairs before closing and contractual limitations or obligations. Responsibilities of repairs, negotiations, appraisals, property survey/boards, mortgages, costs of repairs/estimates, advise on purchase, etc. are not part of a home inspection and should be discussed with your Attorney. Refer to Standards of Practice 13:40-15.16 and Pre-Inspection Agreement 13:40.15.15 that were sent out/emailed immediately when the inspection was booked/scheduled to see the scope of inspection, what is covered, not covered and limitations, obstructions, inaccessible areas, etc. Homes cannot be damaged or coverings removed (walls, ceilings, carpeting, flooring, etc.), storage, personal items, furniture, etc. manipulated in a visual non-invasive home inspection.

READ entire REPORT and recommendations by following up with the licensed professionals & state registered contractors for further evaluations, seller's permission for more technically exhaustive/invasive evaluations, repairs and/or replacements where concerns, defects, deficiencies or concerns reported immediately before taking ownership and closing.

* Items listed in this report may inadvertently have been left off the Summary Sheet. Customer should read the entire report, including the Remarks. Boxed area may have been checked or unchecked inadvertently- written comments are most important and purposely written into report, which may not reflect boxed area checked. Call with any questions you may have before closing and contractual limitations. **Note that corrections, additions or amendments to report may be made after initial report if deemed necessary by the inspector and sent to you, your lawyer or realtor as indicated on the Pre-inspection agreement.**

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REPORT OVERVIEW

THE HOUSE IN PERSPECTIVE

CONVENTIONS USED IN THIS REPORT- ALL SYSTEMS IN HOME MUST BE SERVICED YEARLY AND PROPERLY MAINTAINED AND UPGRADED AS THEY AGE

SATISFACTORY* - Indicates the component is functionally consistent with its original purpose but show signs of normal wear and tear and deterioration and will need maintenance or repairs at any time over its life. Plan and budget for these repairs, replacement and upgrades. Have systems must be serviced regularly and maintained and check the manufacturer’s limited warranty and if transferrable.

MARGINAL * - Indicates the component needs repairs, upgrade, monitor and/or replacement anytime over its life. Plan and budget for these repairs, replacement and upgrades. Defects exist- have evaluated and repaired.

POOR* - Indicates the component needs repair or replacement now. Defects exist- have evaluated and repaired.

SAFETY HAZARD* - Denotes a condition that is unsafe and in need of prompt immediate attention now. Defects or deficiencies exist that pose a danger or unsafe condition.

***NOTE:** All observations or comments reported in this written report should obtain examination and analysis by a qualified professional, tradesman or service technician for that concern, defect or repair prior to closing for cost of repairs, replacement or upgrade.

THE SCOPE OF THE INSPECTION (READ & UNDERSTAND)

All components designated for inspection in the **New Jersey Standards of Practice 13:40-15.16 in readily accessible areas at time of inspection** except as may be noted in the “Limitations of Inspection” sections within this report. It is the goal of the inspection to put a home buyer in a better position to make a buying decision. This inspection should not be considered as an opinion or as advice as whether or not to purchase the property. Not all recommendations will be identified during this inspection. It is not our job or function to fix or solve a problem. We report on the conditions at time of inspection and recommend a specialist to further evaluate and advise on cost of repairs or remedy. Home inspectors are “Generalists” not experts or builders. A home inspection is not a CODE inspection. ****A certificate of occupancy or habitability should be obtained before closing. Township code officers perform code inspections for that certificate; not home inspectors.*** Code issues may arise that need corrections that are not part of a general home inspection and should be addressed before closing. Unexpected repairs as well as maintenance should still be anticipated. All systems and building structure will age and need repairs regardless of the age of home. Plan and budget accordingly. The inspection is not considered a guarantee or warranty of any kind. It is a snap shot in time and conditions will change with time. A “Home Warranty” is readily available from most realtor offices or on the market to help defray the cost of repairs during the life of a home. We strongly recommend this and all other forms of service plans for HVAC and insurance on sewer and water main lines.

In addition to the NJ standards, please refer to the pre-inspection agreement/contract according to NJAC 13:40-15.15, for a full explanation of the scope of the inspection. All reported items of consideration in this report must be addressed for repair evaluation and cost prior to closing. Any conditions concealed, latent, inaccessible or covered up at time of inspection are NOT the responsibility or liability of the home inspector or company. Walls, ceilings, carpeting, or other forms of coverings or finished surfaces cannot be removed during a non-invasive home inspection. Therefore, to see into walls and below surfaces can only be done with a contractor that can perform invasive inspections. We cannot guess or comment on anything behind coverings and report on non-visual or concealed areas. There is always a chance for concealed damage or mold or other structural concerns within walls, floors and ceilings. ***If you are not satisfied with a visual inspection, it is recommended to engage in those contractor or trades for invasive services that can open up walls, ceilings or flooring before closing since it cannot be done in a visual home inspection with permission from seller(s).*** This is under the law in the New Jersey Standards of Practice 13:40-15.16 for a licensed home inspector in the state of New Jersey.

<p>We Always Miss Some Minor Things & cosmetics excluded- Read Pre-Inspection agreement The intent of the inspection is not to find minor problems or cosmetic items. It is to find major problems or defects. The minor problems that are identified were discovered while looking for more significant problems. We may note them simply as a courtesy.</p>	<p>Not Insurance or Warranty & Not Code inspection In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy or warranty. Concealed & inaccessible areas cannot be inspected and should follow up with a contractor.</p>
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GROUNDS

SERVICE WALKS None *Public sidewalk needs repair*
Material: Concrete pavers grass/moss build up- slippery concrete – rear by deck
Condition: Satisfactory Marginal Poor- trip hazard *Pitched towards home*
 Settling/ cracks Not visible

DRIVEWAY/PARKING None
Material: Concrete Asphalt Gravel/Dirt Brick Other
Condition: dirt visible in damaged areas Marginal Poor Cracks, low spots, depressions
 Pitched towards home/garage- low spots *Trip hazard* *Settling*

PORCH (COVERED ENTRANCE) None
STOOPS/STEPS None *Uneven risers*
Material: Concrete/Brick/bluestone treads *Railing/Balusters recommended*
Condition: Satisfactory Marginal Poor- gaps, missing mortar/open junctures at house
 Cracks *Settled* *Seal/repair mortar joints, gas, cracks, to maintain seals*

PATIO None

DECK/BALCONY (*flat, floored, roofless area*) Obtain closed permits for decking

Material: Wood frame/structure Composite flooring/boards
Finish: Treated wood framing & as finished composite boards
 Improper attachment to house *some snow/ice on flooring*
Condition: Satisfactory Marginal Poor *Wood in contact with soil*

DECK/PATIO/PORCH COVERS None *Earth to wood contact* *Moisture/Insect damage*

FENCE/WALL Not evaluated in a home inspection None

LANDSCAPING AFFECTING FOUNDATION (*See remarks page*)

Negative Grade: East West North South Correct all low spots and negative grading
 Recommend additional backfill, add soil and pitch away from foundation *Recommend window wells/covers*
 Trim back trees/shrubberies & removed where too close
 Keep snow off deck, steps, driveway, foundation to avoid water seepage, damage, etc.

NOTE: *Sink holes and other Geological issues are NOT part of a general home inspection*

13:40-15.16 (f)1(v) Standards of practice

v. Vegetation, grading, drainage, and retaining walls with respect to their immediate detrimental effect on the condition of the residential building, excluding fences, geological and/or soil conditions, sea walls, break-walls, bulkheads and docks, or erosion control and earth stabilization;

RETAINING WALL None **Material:** *Drainage holes recommended*

HOSE BIBS None No anti-siphon valve
Operates: Yes No Not tested Not on

GENERAL COMMENTS

GROUNDS: Avoid using sodium based deicers on concrete to avoid damaging them. The paver walks were settled, low spots, uneven, tilted, moss build up, etc.; trip hazard. Recommend a sidewalk contractor evaluate/level/repair all walks. The first step up off the walkway to the front steps was too high; trip hazard. Recommend having the walk adjusted to correct the first step up for safety. Steps should be maintained in crack free repaired. The front steps had missing mortar, cracks or gaps; recommend a mason evaluate/repair all cracks, gaps or separations. The driveway was cracked, damaged, low spots/depressions, uneven areas, uneven/trip hazard and dirt visible in cracks or damaged areas. Recommend a driveway contractor evaluate driveway for replacement and advise on drainage by garage. The deck appears newer; obtain closed permits as required by the township before closing & contractual limitations. There were low spots, leaves, shrubs, trees and landscaping too close to home; remove where too close. Recommend adding soil where negative grading & low spots and pitch away from structure for drainage. Stones, mulch and vegetation are not recommended around foundation; tends to trap water against foundation and cause wet basements. Recommend maintaining a positive pitch of soil around foundation for proper water drainage. Remove trees and or branches too close to roof, structures and electrical cables/communication lines for safety. Overhanging trees and overgrowth can cause mechanical damage, moss, algae, attract carpenter ants, raccoons, squirrels or other animals. Recommend window well covers for all basement windows to keep out water, ice snow and avoid

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wet basement. There was a sprinkler system observed on property & controls in the home. The valve for sprinkler was in the tee or off position and no visible winterization tags. Follow up with the sellers and a sprinkler contractor for condition, testing & inspecting the sprinkler system and controls. Sprinkler systems are not part of home inspection. The hose bibs were on when tested; these should be shut off from inside, open on exterior (to drain) and insulated cover for winter to avoid freeze damage & leaking. Recommend keeping snow off deck, steps, driveway, foundation to avoid water seepage, damage, etc. The upper balcony had missing baluster; safety hazard/dangerous. Recommend a carpenter add baluster/repair for safety.

CONCERNS:

1. The paver walks were settled, low spots, uneven, tilted, moss build up, etc.; trip hazard. Recommend a sidewalk contractor evaluate/level/repair all walks. The first step up off the walkway to the front steps was too high; trip hazard. Recommend having the walk adjusted to correct the first step up for safety. Steps should be maintained in crack free repaired. The front steps had missing mortar, cracks or gaps; recommend a mason evaluate/repair all cracks, gaps or separations.
2. The driveway was cracked, damaged, low spots/depressions, uneven areas, uneven/trip hazard and dirt visible in cracks or damaged areas. Recommend a driveway contractor evaluate driveway for replacement and advise on drainage by garage.
3. There were low spots, leaves, shrubs, trees and landscaping too close to home; remove where too close. Recommend adding soil where negative grading & low spots and pitch away from structure for drainage. Stones, mulch and vegetation are not recommended around foundation; tends to trap water against foundation and cause wet basements. Recommend maintaining a positive pitch of soil around foundation for proper water drainage.
3. The upper balcony had missing baluster; safety hazard/dangerous. Recommend a carpenter add baluster/repair for safety.



Figure 1 Recommend a carpenter evaluate balcony and make repairs; missing baluster/dangerous/safety hazard.

ROOF

ROOF VISIBILITY All Partial None Limited by: Angle, height

INSPECTED FROM Roof Ladder at eaves Ground (*Inspection Limited*) With Binoculars

STYLE OF ROOF

Type: Gable Hip Mansard Shed Flat Other
Pitch: Low Medium Steep Flat

ROOF COVERING

Roof #1: Type: **Asphalt shingles** Estimated Layers*: 1*

Approximate age of cover: <10 years – obtain closed permits for exact age of roof

Layers- only the visible layers; drip edges can conceal additional layers.*

NOTE: It is always recommended to obtain roofing information on brand and warranty due to current concerns with some GAF and other manufacturer's architectural roof shingles involved in a class action suit to err on side of caution. Often it cannot be determined by visual inspection. Age of roof is only an approximation. Installer's paperwork is only proof of age.

VENTILATION SYSTEM **Type:** Soffit Ridge Gable Roof- passive vents
Appears Adequate: Yes No Turbine Powered maximum ventilation always recommended
(See Interior remarks page) (See Attic section)

Need more Ventilation to avoid mold-like substances, condensation/rusted nails/frost on sheathing & rafters, heat build-up, sheathing damage an shortening life of roof.

FLASHING VALLEYS **Material:** Galv/Alum Asphalt Not visible Rubber
 Not visible N/A **Material:** Galv/Alum Asphalt Lead Copper

CONDITION OF ROOF COVERINGS **Roof #1:** Satisfactory Marginal Poor Snow covered

Condition: Curling Cracking Water stains- rule out active leaks (inaccessible)
 Nail popping Granules missing Alligatoring Blistering Missing Tabs/Shingles/Tiles
 Moss buildup Exposed felt Cupping Old gutters, dents
 Multi-layer roof- not recommended Need more Ventilation to avoid mold, condensation, heat build-up, sheathing/structure damage

READ THIS NOTE: Keep all roofs in **LEAK –FREE condition**. If not in leak-free condition, water can and will leak into a home, causing damage, and mold like conditions. Anything checked off above in conditions section must be addressed/corrected/evaluated and repaired/replaced by a qualified roof prior to closing and contractual limitations. Plan for repairs and roof replacement. Obtain closed roof permits from township/Boro/City and plan and budget for roof repairs & replacement. Ask if roof is under a transferrable warranty. Water damage and mold can be concealed behind walls, ceilings or any other covering that cannot be seen during a Visual Home Inspection. Refer to the NJ Standards of Practice sent with your Pre-Inspection contract. If you have any concerns, you must engage in a contract with a licensed contractor to open up walls, ceilings, flooring or other cladding or covering by arranging it with the sellers before closing to rule out hidden problems, mold or other water related issues. There are costs associated with this type of invasive investigation. This will involve destructive means that is beyond the scope of a general visual non-invasive home inspection under New Jersey law. See siding section for similar comments about hidden damage.

MULTI-LAYER ROOFS: Multi- layers will shorten life of existing roof. There are many disadvantages of having multi-layer roofs even though it may be acceptable in many municipalities across New Jersey. Multi layers wear faster or shorten the current roof layer because of the uneven surface that it was laid over. These roofs are heavier and increase the dead load thereby placing the roof structure under greater load often causing deflection. Deflection was observed from street or distance looking at roof. Multi layers (ML) are more inclined to have shingles blow off especially if nails cannot penetrate the roof decking. The key factor or weakness in ML layer roofs are the fact that flashings are not replaced without stripping

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off roof. This makes the roof vulnerable in areas where old flashings remain and often tarred over. The sun's UV rays cracks tar year to year and water leaks in these areas. ML roofs tend not to dry out sufficiently and thus accelerating the ageing or deterioration of the newest layer. Flashings are the most important detail of a well installed roof to help protect the junctures and penetrations from water entry. A ML roof lacks new flashings since it was not striped off for their installations. ML roofs will make attic hotter, trap moisture and cause sheathing damage, rot and mold due to trapped heat and moisture. Roofs should have more or maximum ventilation. Have roof, ventilation and gutters evaluated by qualified roofer before closing.

SKYLIGHTS N/A *Cracked/Broken* Not visible Cloudy or overcast; limited visibility
Condition: Satisfactory Marginal Poor Snow covered Dirty

PLUMBING VENTS Yes No Satisfactory Marginal Poor

- Obtain closed permits for roof as required by the township
- Maintain roofs in leak free, debris free condition as well as gutters year round to avoid internal or concealed leaking into the home and potential water/mold like substances/wood destroying insects

Conditions reported above reflect visible portion only

GENERAL COMMENTS

ROOF: There was a TV dish mounted on roof. These items should be removed; not recommended on roofs or chimneys. These TV mounted components tend to leak at nail or mounting hardware. Recommend the service provider evaluate for alternative mounting if keeping the TV dish and a roofer evaluate the shingles for replacement where nails or hardware installed for the TV Dish. There were several water stains on some rafters or roof sheathing in attic; inaccessible or limited unsafe flooring. Recommend following up with sellers to see if stains were old and prior to the new roof and/or have roofer verify not active stains or leaking. Roof should have maximum ventilation; check attic temperature when warmer to verify proper ventilation. Recommend having passive vents cleaned; some nesting or debris partially visible on the right vent. These vents should be maintained and clean for air flow. Hot humid attic will shorten life of roof and potentially cause heat & moisture damage to attic structure. Obtain the closed permits for roof from township and any warranty from roofer if applicable and transferrable. All roofs will need repairs at some point during the life of the roof; expect these and plan for them. Only a roofer should make repairs and not a handyman or non-roofer. Always check roofs after rains, high winds or severe weather including winter storms. Ice and snow build-up in gutters can cause leaks in the interior; keep gutters cleaned and flowing year round for proper drainage. Recommend having passive vents cleaned; some nesting or debris partially visible on the right vent. These vents should be maintained and clean for air flow. Recommend adding baffles on eaves to lift insulation and proper air flow. Hot humid attic will shorten life of roof. Maximum ventilation should be maintained in an attic. There were skylights in the home; monitor for leaks and ask if under a transferrable warranty.

CONCERNS:

1. There was a TV dish mounted on roof. These items should be removed; not recommended on roofs or chimneys. These TV mounted components tend to leak at nail or mounting hardware. Recommend the service provider evaluate for alternative mounting if keeping the TV dish and a roofer evaluate the shingles for replacement where nails or hardware installed for the TV Dish. There were several water stains on some rafters or roof sheathing in attic; inaccessible or limited unsafe flooring. Recommend following up with sellers to see if stains were old and prior to the new roof and/or have roofer verify not active stains or leaking. Roof should have maximum ventilation; check attic temperature when warmer to verify proper ventilation. Recommend having passive vents cleaned; some nesting or debris partially visible on the right vent. These vents should be maintained and clean for air flow. Hot humid attic will shorten life of roof and potentially cause heat & moisture damage to attic structure. Obtain the closed permits for roof from township and any warranty from roofer if applicable and transferrable.
2. Obtain the closed permits for roof from township and any warranty from roofer if applicable and transferrable.
3. There were skylights in the home; monitor for leaks and ask if under a transferrable warranty.



Figure 2 Examples of water stains (camera zoom); inaccessible. Follow up with roofer to make sure water stains in attic are old and not active. Recommend a secure catwalk in attic for roof inspection and for servicing the HVAC equipment, ducts, etc.

CHIMNEY/GUTTERS/SIDING/TRIM

- CHIMNEY(S)** None Location(s): right side
- Viewed From:** Roof Ladder at eaves Ground with binoculars
- Note:** Chimney inspection is very limited during a home inspection. Sections at top, cap, liners are often not visible. Level II chimney inspection is always recommended prior to closing to fully inspect the chimney.
- Rain Cap/Spark Arrestor:** Yes No **Recommended**
- Chase:** Framed- siding Brick Stone Metal Blocks
- Evidence of:** flaked paint on chase scrap & paint chase where needed Flaking Loose Brick Rust
- Flue/Liner:** Tile Metal **Unlined** Not visible
- Evidence of:** Scaling Cracks Creosote **Not evaluated (See remarks page)**
- Have flue(s) cleaned and re-evaluated** **Recommend Cricket/Saddle/Flashing**
- Condition:** original siding Marginal, flaked paint Trim & remove tree too close to chimney & chase

GUTTERS/SCUPPERS/EAVES TROUGH

- Dirty, clogged or poorly maintained gutters will cause leaks into interior or behind walls. Clean often and checked frequently.
- Needs to be cleaned yearly or more often** **Downspouts missing**
- An ice dam is a ridge of ice that forms at the edge of a roof and prevents melting snow (water) from draining off the roof. The water that backs up behind the dam can leak into a home and cause damage to walls, ceilings, insulation, and other areas.
- Material:** Copper Vinyl/Plastic Galvanized/Aluminum Other
- Condition:** Satisfactory Marginal Poor- dents, older gutters **Rusting**
- Leaking/Spillage marks:** Corners Joints **Main runs**
- Attachment:** Loose **Missing spikes** **Improperly sloped (See remarks page)**
- Extension needed:** Clean all underground gutters to ensure flowing and removing water away from house

SIDING

(*See remarks page EIFS)

- Material:** Wood siding Brick veneer
- Wood rot- siding & trim in some areas** Silver nail head visible- unconventional
- Note- Concealed behind Siding :** Siding cannot be removed during a home inspection; invasive. There is always a chance of concealed water and/or wood destroying insect damage behind gutters, siding, trim, rake boards and fascia. This cannot be determined during a visual non-invasive home inspection. Mold can also be concealed and not visible.
- Condition:** Satisfactory Marginal Poor- wood rot in areas **Recommend repairs when rotted**

TRIM, SOFFIT, FASCIA, FLASHING

- Material:** Wood Fiberboard Aluminum/Steel Fiber Cement Stucco
- Recommend repair/painting** **Damaged wood** Metal/vinyl Other
- Note:** Often concealed water damage or rot can be concealed behind gutters on fascia or soffits. Monitor areas and address repairs as needed. Dirty gutters will spill over and cause damage often concealed, on fascia, trim, siding or interior; clean regularly.
- Condition:** Satisfactory Marginal Poor- **recommend repairs where rotted**

CAULKING

- Condition:** Satisfactory Marginal separations/gaps- seal /caulk
- Recommend around windows/doors/masonry ledges/corners/utility penetrations as needed**

WINDOWS & SCREENS

- Failed/fogged insulated glass**
- Material:** Wood Metal Vinyl Aluminum/Vinyl Clad
- Screens:** Torn Bent Not installed Glazing/caulk needed
- Condition:** Satisfactory Marginal Poor **Wood rot** **Recommend repair/painting**

STORMS WINDOWS

- N/A Not installed Wood Clad comb. Wood/metal comb.

SLAB-ON-GRADE/FOUNDATION N/A (See Basement/Crawl Space)

Stem Wall: Concrete block Poured concrete Other
Condition: Satisfactory Marginal Poor- cracks Not visible
Slab: Post tensioned Poured concrete N/A
Condition: Satisfactory Marginal Poor (See comments page)

GENERAL COMMENTS

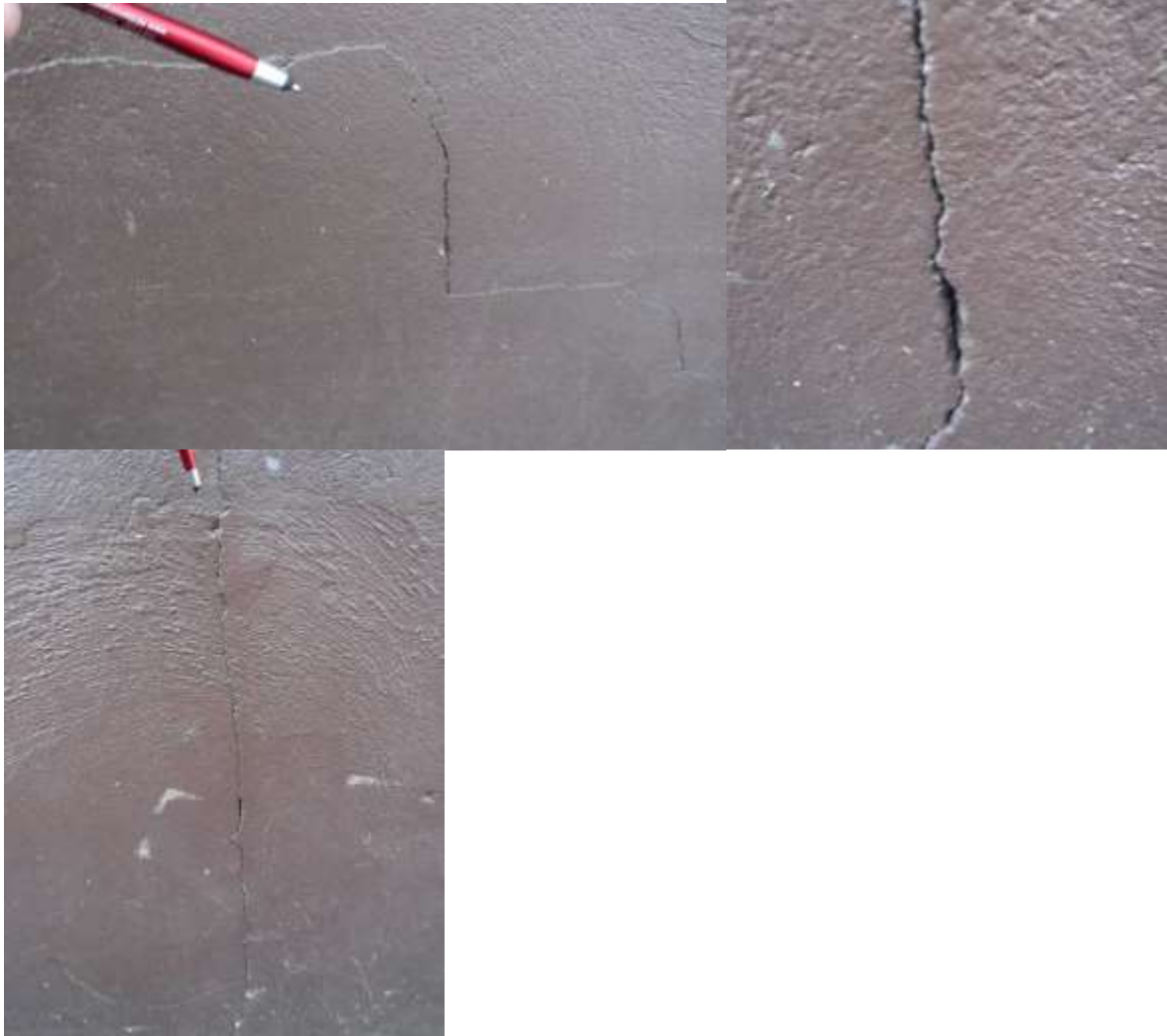
CHIMNEY/GUTTERS/SIDING/TRIM: Gutters were old or original to the home; dents, partially backed out nails or spikes, spillage marks, etc. Recommend upsizing gutters for better water collection & water removal. Recommend cleaning underground drains for gutters to ensure free flowing and water removal away from the structure. Clean gutters often to ensure proper flow or distribution away from structure. Clogged, dirty or covered (gutters helmets, screens, etc.) will reduce the collection ability and spillage or water damage can occur to interior of home. Gutters and rain leaders or downspouts are important for rainwater collections and distribution away from structure. Vegetation, grading surface drainage, rotted tree stumps among other forms of plant material is likely to adversely affect the home or dwelling adversely. Grounds are viewed during a home inspection from the perspective of how they may affect the home negatively. Recommend upsizing gutters to larger (~6") uncovered, no screens, etc. for better water collection and distribution of water away from house and foundation. See roofing section comments. Clogged gutters can cause leaking & damage to interior or where concealed in walls. Discuss auto sensed gutter heat elements for winter with a gutter company or building contractor to detect ice and melt frozen water in gutters in winter or cold months. Homes can typical experience wet basements, crawl spaces and attract Wood destroying insect infestation as a result of negative grading, landscaping and soil too close to home and poor maintenance. Recommend chimney sweep clean/evaluate chimney. Recommend trimming back trees away from chimney, roof and where too close to house/structure. *All chimneys will need repairs and or linings at some point(s) in their life. Proper maintenance and cleanings are extremely important for fire and life safety as well as maintaining the structural integrity of chimney and or fireplace if present. It is strongly recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships and when fuels have been changed from oil to gas in older homes to avoid costly repairs and ensure life safety. The Internal elements of the chimney could not be evaluated and fall outside the scope of a visual home inspection. Internal defects and/or fire hazards often exist in any chimney of any age and especially in older structures. It is strongly advised that a Level II Internal chimney inspection be conducted in accordance with the National Fire Safety Standard (NFPA 211) prior to closing. Buyer accepts all risk, cost of repairs, possibility of dangerous conditions (fire, carbon monoxide, unstable structure, etc) if he or she fails to conduct this type of Level II chimney inspection.* There was visible siding & trim rot on wood exterior and numerous shiny nails added to the wood siding. There were separated wood trim and gaps. There were some exposed open webbing of brick veneer; water entry points. Recommend a siding or exterior contractor evaluate extent of wood rot/damage, trim junctures/gaps/separation, nails, open webbing on brick veneer and advise on all repairs and the nails. Recommend caulking and sealing all junctures. Discuss flashing, wrapping and PVC (Azek) type trims and exterior components with the siding contractor to upgrade or eliminate ongoing wood rot or water damage. There were foundation cracks visible on exterior and some in the basement. The basement was filled with boxes on floor and perimeter and well as shelving; inaccessible. Recommend a structural mason or building contractor evaluate all foundation cracks, missing mortar and advise on repairs.

CONCERNS:

1. Gutters were old or original to the home; dents, partially backed out nails or spikes, spillage marks, etc. Recommend upsizing gutters for better water collection & water removal. Recommend cleaning underground drains for gutters to ensure free flowing and water removal away from the structure.
2. There was visible siding & trim rot on wood exterior and numerous shiny nails added to the wood siding. There were separated wood trim and gaps. There were some exposed open webbing of brick veneer; water entry points. Recommend a siding or exterior contractor evaluate extent of wood rot/damage, trim junctures/gaps/separation, nails, open webbing on brick veneer and advise on all repairs and the nails. Recommend caulking and sealing all junctures. Discuss flashing, wrapping and PVC (Azek) type trims and exterior components with the siding contractor to upgrade or eliminate ongoing wood rot or water damage. There were foundation cracks visible on exterior and some in the basement. The basement was filled with boxes on floor and perimeter and well as shelving; inaccessible. Recommend a structural mason or building contractor evaluate all foundation cracks, missing mortar and advise on repairs.
3. Recommend having chimney cleaned yearly; ask when last cleaned/inspected. Recommend Level II camera inspection when changing ownerships as per National Fire Safety Standard (NFPA 211).



Figure 3 Numerous shiny nail heads on siding, wood siding & trim rot/water damage; further evaluate with siding contractor.



EXTERIOR/ELECTRICAL/AC/HEAT PUMP/GARAGE**SERVICE ENTRY**

Underground- right side *Weather head/mast needs repair* Condition: Sat. Marginal Poor
Exterior outlets: Yes No **Operative:** Yes No *Overhead wires too low*
GFCI present: Yes No **Operative:** Yes No *Less than 3' from balcony/deck/windows*
 Reverse polarity *Open ground* *Safety Hazard*

BUILDING(S) EXTERIOR WALL CONSTRUCTION

Type: Not visible, inside walls Framed Masonry Other
Condition: Satisfactory, overall exterior Marginal Poor Not visible inside walls

EXTERIOR DOORS

Weather-stripping: Satisfactory Marginal Poor Missing Replace
Door Condition: Satisfactory Marginal Poor

EXTERIOR A/C - HEAT PUMP

Location(s): rear (2007 & 2010 dates on units)

Unit #1 Brand: Goodman Outside shutoff: Yes approx. age 11 yrs.
 Unit #2 Brand: Goodman Outside shutoff: Yes approx. age 8 yrs.
 Condition: Satisfactory Marginal Poor Rusted Level: Yes No
 Cabinet/housing rusted Condenser Fins: Damaged Need cleaning Damaged base/pad

GARAGE

None Attached Detached 1-car 2-car
 Automatic Opener: Yes Door opener where car park had missing bolts- No** Operable Inoperable
 Remote not available
 Safety Reverse Operable: Pressure reverse Electric eye- recommended/not present
 Safety hazard - bolts & cotter pins missing.** Do not open door until repaired by door installer
 Roofing Material: Same as house Gutters : Same as house
 Siding: Same as house Trim: Same as house
 Floor : Material: Concrete car parked on right side- under broken door hardware
 Clutter/storage on floor & storage, etc.
 Condition: Limited view due to clutter Typical cracks *Recommend evaluation/repair*
 Burners less than 18" above garage floor: N/A Yes No Safety hazard
 Sill Plates : Not visible- clutter in garage Floor level limited view- clutter
 Overhead doors: N/A Wood Fiberglass Masonite Metal *Recommend repair*
 Marginal Older Poor **Overhead door hardware loose /missing bolts & cotter pins**
 Recommend Painting Inside & Edges: Yes No Recommend lubrication Weather-stripping worn
 Exterior Service Door: None
 Electricity Present: Yes Inaccessible GFCI Present: Yes- limited access Inaccessible Operates: Yes No
Reverse polarity: Yes No Open ground: Yes No *Safety hazard*
 Check all outlets when accessible – clutter, shelving, parked car, etc.
 Firewall (Between garage & living area) : N/A Present Missing
 Satisfactory *Safety hazard(s)* *Recommend repair* *Holes walls/ceiling*
Fire door: Not verifiable **Recommend self-closure hinges on garage door to house**
Moisture Stains Present: Yes- walls and efflorescence/seepage Typical Cracks: Yes No

GENERAL COMMENTS

EXTERIOR/ELECTRICAL/A/C/HEAT PUMP/GARAGE (cluttered) : The auto reverse on both door worked when tested. The overhead door where the car was parked made a noise when the door was returned to the down position and the hinge popped off the mechanism. There was no bolt & cotter pin on the hinge part that came off and observed that it was also missing on the main metal bar attached to the door frame; unsafe/dangerous. The metal bar can potentially come down or apart from overhead with missing parts. Do not open this door until a garage door installer evaluates & repairs all door components where missing. Recommend having both overhead door openers & componets checked and retest both overhead doors before closing & contractual limitations. There was carpenter ant frass in garage and basement. See separate NPMA-33 Wood destroying insect report. There were cracks on foundation and missing mortar; recommend a structural mason evaluate all cracks and make repairs. See structure comments pg.2. The garage had clutter, parked car, storage, shelving,

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etc.; inaccessible. Inspect all areas when storage removed and accessible. Some outlets were blocked by decks, storage, clutter; test all outlets when accessible before closing. There were moisture stains/efflorescence on foundation walls; seepage. Recommend correcting all exterior conditions conducive to seepage. Recommend self-closure hinges on garage door to house for added safety. The A/C condensing units were older or 8 and 11 yrs. A typical manufacturer's warranty is often a 10 yr. limited warranty depending on the manufacturer and product installed. Follow up with manufacturer to see the warranty and if transferrable. Recommend planning & budgeting for repairs & replacement due to ages. Recommend boxing in open steps in garage for safety; potential to catch feet under treads. There was a central vacuum canister mounted in garage; not part of home inspection. Follow up with the seller for testing, tools, hoses, etc.

CONCERNS:

1. The auto reverse on both door worked when tested. The overhead door where the car was parked made a noise when the door was returned to the down position and the hinge popped off the mechanism.** There was no bolt & cotter pin on the hinge part that came off and observed that it was also missing on the main metal bar attached to the door frame; unsafe/dangerous. The metal bar can potentially come down or apart from overhead with missing parts. Do not open this door until a garage door installer evaluates & repairs all door components where missing. Recommend having both overhead door openers & components checked and retest both overhead doors before closing & contractual limitations.
2. Recommend correcting exterior conditions conducive to seepage; moisture stains on foundation walls.
3. Inspect all areas and test outlets when clutter, storage removed and accessible before closing.
4. There was carpenter ant frass in garage and basement. See separate NPMA-33 Wood destroying insect report.

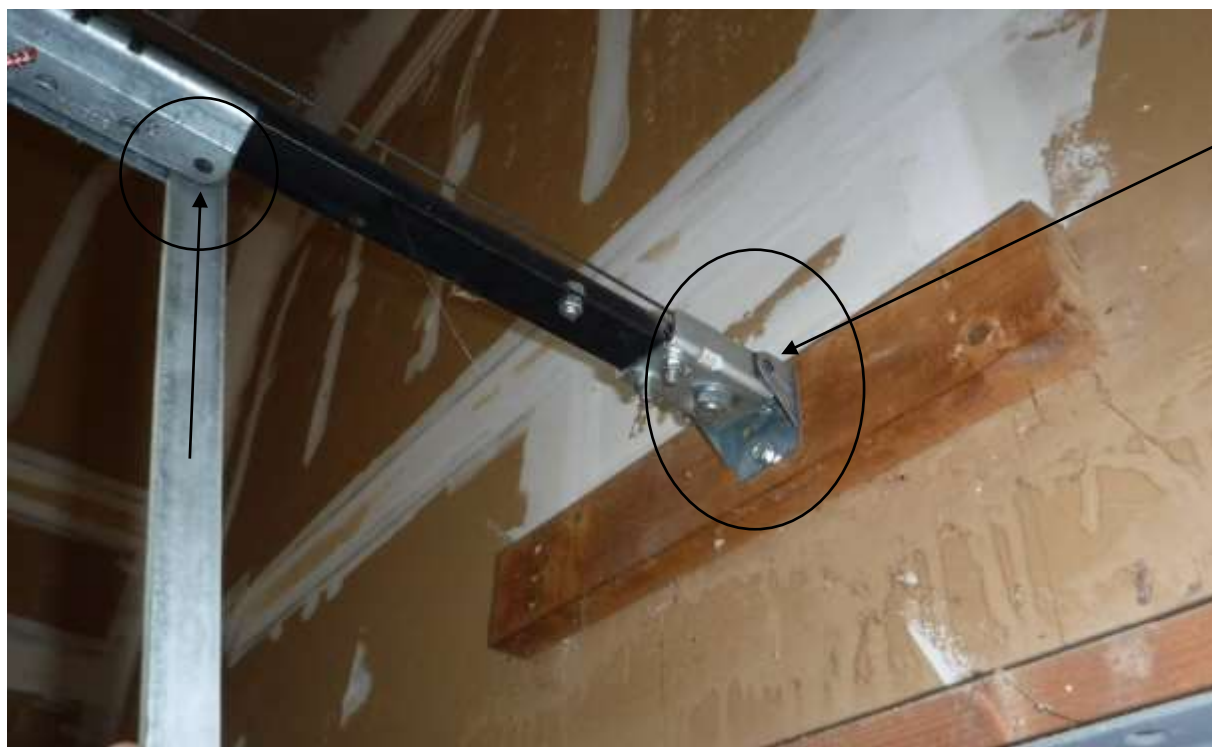


Figure 4 The door banged or made noise when tested and closed. The hinge on left popped out of the silver bracket mounted on the black bar. There was missing bolt on the mounting bracket that holds the black horizontal bar; dangerous/safety hazard. Recommend a garage door installer evaluate all doors and hardware and make repairs for safety.



Figure 5 Inaccessible outlets, perimeter, flooring; car, storage, clutter in garage. Inspect all areas and outlets when storage removed. Water/moisture/efflorescence stains on foundation.



Figure 6 Example of cracks on foundation; see structure comments pg.2. There was perimeter storage and clutter in garage; limited view.

KITCHEN

COUNTERTOPS

Satisfactory Marginal *Recommend repair/caulking*

CABINETS

Satisfactory Marginal *Recommend repair/adjustment*

Note: Counter tops, cabinets or other storage built in products vary in quality, construction, manufacturer and brand. Low quality materials such as press board or particle board type products will sag, bow, glue separation, split have separations between units, counter tops and back splashes. This is especially true when items such as microwave, heavy cookware and other counter top appliances are placed on the shelves and counter tops. They will stress the material, often fall apart and become unglued. It is not the inspector's responsibility to judge them, inspect quality or predict their life or resulting product breakdown. This material and similar composite materials is lower quality and will have problems or negative issues. They often result in loose hardware, splits and cracks due to the low product quality. If the material becomes moist or wet it will swell, split, break down and fail. *If you have concerns about your quality of fixtures, brands, manufacturer, appliances, cabinets, counter tops, and other installed products, address them before closing with the selling party. Check all paperwork, manuals and other product literature for specifications, design, construction and warranty.*

PLUMBING COMMENTS

Faucet Leaks: Yes No **Pipes leak/corroded:** Yes No
Sink/Faucet: Satisfactory Corroded- drain basket/disposer connector Chipped Cracked
 Recommend repair by licensed plumber
Functional Drainage: Adequate Poor **Functional Flow:** Adequate Poor
Hot water: Yes No **Cold water:** Yes No

WALLS & CEILING

Condition: Satisfactory Marginal Poor Typical cracks *Moisture stains*

HEATING / COOLING SOURCE

Yes No

FLOOR

Condition: Satisfactory Marginal Poor Sloping Squeaks

APPLIANCES *

(See remarks page) Appliances are NOT GUARANTEED & only tested as found condition at time of inspection (Snap Shot); obtain a Home Warranty from Realtors office or private source to cover appliances. Always check under refrigerators and dishwashers, etc. for leaks, damage & mold before closing by licensed plumber & building contractor. Mold/environmental inspections are beyond the scope of a home inspection. Contents of home not manipulated and moved in a visual home inspection.

Disposal Operates: Yes No Oven/Range* Operates: Yes No
 Dishwasher Operates: Yes No
Dishwasher Air gap: Yes No N/A **Dishwasher Drain Line Looped:** Yes No Not visible
Outlets Present: Yes No Operable: Yes No
G.F.C.I.: Yes No Operable: Yes No
Open ground/Reverse polarity within 6' of water: Yes No *Potential safety hazard(s)*

NOTE: The Consumer Product Safety Commission, using estimates from 2006 through 2008, says that major appliances caused more than 150,000 residential fires each year, resulting in 3,670 injuries, 150 deaths, and \$547 million dollars in property damage. Go to (<http://www.consumerreports.org>) to see recent recalls.

*** Pursuant to 13:40-15.16 Standards of practice**

1) When inspecting the interior of a residential building, a home inspector shall:

1. Inspect:

v. Household appliances limited to:

- (1) The kitchen range and oven to determine operation of burners or heating elements excluding microwave ovens and the operation of self-cleaning cycles and appliance timers and thermostats;
- (2) Dishwasher to determine water supply and drainage; and
- (3) Garbage disposer

GENERAL COMMENTS

KITCHEN : Recommend anti tip brackets on all stoves for safety.* There was heavy corrosion on the drain basket/garbage disposer connector; have a plumber replace. Seal granite counter tops as per manufacturer. The vent over stove was ventless; clean often or cover when using oils and grease cooking. There is a red button under the garbage disposer; reset button to restore power if tripped. There was sloping floors in the home; see structural comments pg2.

CONCERNS:

1. Recommend a licensed plumber evaluate the drain basket/garbage disposer connection for replacement; rusted/heavy corrosion.



Figure 7 On left, red reset button if tripped, rest to restore power. The right photo is the corrosion on drain basket and garbage disposer connector; have licensed plumber evaluate for replacement.

LAUNDRY ROOM

ROOM COMPONENTS

- Laundry sink:** N/A **Faucet leaks:** Yes No **Pipes leak:** Yes No
Hot water: Yes No **Cold water:** Yes No
Cross connections: Yes No **Heat source present:** Yes No **Room vented:** Yes No
Dryer vented: N/A Wall Ceiling Floor Not vented
 Not vented to Exterior *Recommend repair* *Safety hazard*
Electrical: Open ground/reverse polarity within 6' of water: Yes No *Safety hazard*
G.F.C.I. present: Yes No **Operates:** Yes No
Appliances: Washer Dryer Water heater Furnace Cluttered

Always check under washer & dryer for water damage and mold before closing; contents not manipulated or moved in a visual inspection.

Note: Testing/inspecting washer and dryer is not part of New Jersey home inspection.

- Washer hook-up lines/valves:** Leaking Corroded Not visible
Gas Shut-off Valve: N/A Yes No Cap Needed Safety hazard Not visible
Electrical Set-up : N/A Yes No

GENERAL COMMENTS

LAUNDRY : Recommend self-closure hinges on door to garage for added safety.

BATHROOMS

BATH: 1/2 BATH

SINKS / TUBS / SHOWERS

Faucet leaks: Yes No
 Loose: Yes No
 Pipes leak: Yes No
Fixture(s) Condition: Satisfactory Marginal Poor
Hot water: Yes No
 Cold water: Yes No

TOILET

Bowl Loose: Yes No
 Operates: Yes No
 Toilet leaks
 Cracked bowl/tank
 Cross connection

WALLS / CEILING / CABINETS

Moisture stains present: Yes No
 Outlets present: Yes No
G.F.C.I. Present: Yes No
 Operates: Yes No
Open ground/Reverse polarity within 6' of water: Yes No
Potential safety hazards present: Yes No

HEATING / COOLING SOURCE

Yes No
Window/Door: Yes No Satisfactory Marginal Poor
Exhaust Fan: Yes No
Operates: Yes No
Noisy: Yes No

GENERAL COMMENTS

1/2 BATH: The fan did not go on with the wall switch; have evaluated by electrician.

CONCERNS:

- The fan in the half bath did not go on with the wall switch; further evaluate. Recommend a licensed electrician evaluate and repairs/corrections.

BATH: MASTER BATH

SINKS / TUBS / SHOWERS

Faucet leaks: Yes No
 Loose: Yes No
 Pipes leak: Yes No
Fixture(s) Condition: Satisfactory Marginal Poor
Hot water: Yes No
 Cold water: Yes No

TOILET

Bowl Loose: Yes No
 Operates: Yes No
 Toilet leaks
 Cracked bowl/tank
 Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic Fiberglass Masonite Other
Condition: Satisfactory Marginal Poor Rotted floors
Caulk/Grouting Needed: Yes No
 Where:
Functional Drainage: Adequate Poor
Functional Flow: Adequate Poor
Whirlpool Operable: N/A Yes No
 Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No
 Outlets present: Yes No
G.F.C.I. Present: Yes No
Operates: Yes No
Open ground/Reverse polarity within 6' of water: Yes No
Potential safety hazards present: Yes No

HEATING / COOLING SOURCE

Yes No
Window/Door: Yes No Satisfactory Marginal Poor
Exhaust Fan: Yes No
Operates: Yes No
Noisy: Yes No

GENERAL COMMENTS

MASTER BATH: The plastic shower flange at shower pan was cracked; replace. Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

MAIN BATH: FRONT

SINKS / TUBS / SHOWERS

Faucet leaks: Yes No Loose: Yes No Pipes leak: Yes No
 Fixture(s) Condition: Satisfactory Marginal Poor
 Hot water: Yes No Cold water: Yes No

TOILET

Bowl Loose: Yes No Operates: Yes No Toilet leaks Cracked bowl/tank Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic Fiberglass Masonite Other
 Condition: Satisfactory Marginal Poor Rotted floors
 Caulk/Grouting Needed: Yes No Where: Adequate Poor- slow Functional Flow: Adequate Poor
 Whirlpool Operable: N/A Yes No Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No Outlets present: Yes No
 G.F.C.I. present: Yes No Operates: Yes No
 Open ground/Reverse polarity within 6' of water: Yes No Potential safety hazards present: Yes No

HEAT / COOLING SOURCE Yes No

Window/Door: Yes No Satisfactory Marginal Poor
 Exhaust Fan: Yes No Operates: Yes No Noisy: Yes No

GENERAL COMMENTS

MAIN BATH FRONT : There was calcium/mineral deposits on plumbing/fixtures in the home and stiff fixture handles; indicative of hard water. The tub drained slowly. Recommend a licensed plumber evaluate fixtures, calcium mineral deposits and drainage and advise on repairs/upgrades. Hard water can cause plumbing problems; see plumbing section comments.

CONCERNS:

1. Recommend a licensed plumber evaluate calcium/mineral deposits, stiff handles, slow drainage and advise on repairs.



Figure 8 Slow drainage; have a plumber evaluate drainage and advise on repairs.

DINING ROOM

LOCATION: FRONT LEFT

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No **Where:**
Floor: wall to wall carpet Marginal Poor Squeaks Slopes
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing **Safety Hazard**
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

DINING ROOM : See structure comments pg. 2; sloped flooring and canted doorways in the home.

LIVING ROOM

LOCATION: FRONT RIGHT

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No **Where:**
Floor: Satisfactory wall to wall carpet Poor Squeaks Slopes
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing **Safety Hazard**
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

LIVING ROOM (Pool table) : See structure comments pg. 2; sloped flooring and canted doorways in the home.

FAMILY ROOM

LOCATION: REAR RIGHT

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where: Squeaks Slopes
Floor: carpeting satisfactory Poor No
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

FAMILY ROOM : There is a wood fireplace in this room. The firebox was shallow; do not build a large fire in this fireplace. Follow up with a chimney contractor or chimney sweep to go over how to properly build and light a wood fire to avoid damaging the prefab panels in the fireplace. See chimney and fireplace section comments. See structure comments pg. 2; sloped flooring and canted doorways in the home.

MASTER BEDROOM

LOCATION: REAR CENTER

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where: Squeaks Slopes
Floor: Satisfactory Marginal Poor
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

MASTER BEDROOM : There was a missing baluster on balcony; recommend a structural carpenter evaluate/repair; safety hazard/dangerous. Use caution with small children on the balcony. Several of the registers were closed; have opened when moving in and using the HVAC. See structure comments pg. 2; sloped flooring and canted doorways in the home.

CONCERNS:

1. There was a missing baluster on balcony; recommend a structural carpenter evaluate/repair; safety hazard/dangerous.
2. There were several registers closed in rooms of the house; recommend opening for proper heat flow & distribution in the home.

#2 BEDROOM REAR LEFT BY CRAFT

LOCATION: PURPLE

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where: Squeaks Slopes
Floor: Satisfactory wall to wall Poor No
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

#2 BEDROOM REAR LEFT W/ INNER CRAFT ROOM : There was a hole in floor in the knee wall; have a hole repaired or boarded for safety. There was loose tape on the inside door of knee wall for the foam insulation; have secured or glued to the access door panel to close properly. See structure comments pg. 2; sloped flooring and canted doorways in the home.

#3 BEDROOM FRONT LEFT

LOCATION: BLUE

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where: Squeaks Slopes
Floor: wall to wall Marginal Poor
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

#3 BEDROOM : See structure comments pg. 2; sloped flooring and canted doorways in the home.

#4 BEDROOM FRONT RIGHT

LOCATION: FRONT RIGHT

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where: Squeaks Slopes
Floor: Satisfactory wall to wall Poor No
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

#4 BEDROOM FRONT RIGHT : See structure comments pg. 2; sloped flooring and canted doorways in the home.

CRAFT ROOM- inner room Bedroom#2

LOCATION: 2ND FL LEFT

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where: Squeaks Slopes
Floor: Satisfactory Marginal Poor No
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

CRAFT ROOM- inner room Bedroom #2 : The room was a finished attic and floor has a 1-2 inch step down; use caution when entering and exiting the room. See structure comments pg. 2; sloped flooring and canted doorways in the home. The foam insulation on the knee wall was loose; have secured. There was a hole in floor in the knee wall area and storage; limited view from door/opening.

WINDOWS/FIREPLACES/HALL/ATTIC

INTERIOR WINDOWS / GLASS

- Condition:** Satisfactory Marginal older Mix of window types & ages
 Representative number of windows operated Ask if windows under warranty
- Evidence of Broken Vapor seals :** Yes No N/A **Safety Glazing Needed:** Yes No
 Glazing compound needed Sticking/grit/dirt in sills- older windows Hardware missing
 Broken counter-balance mechanism
- Security Bars Present:** N/A Yes No Not tested *Safety hazard* *Test release mechanism before moving in*

FIREPLACE None Location(s): family room

- Recommend having flue cleaned and re-examined*
- Type:** Gas (Not Tested) Wood *Wood burner stove (See remarks page)* Electric Ventless
- Material:** Masonry Metal (pre-fabricated) Metal insert
- Miscellaneous:** Blower built-in Operates: Yes No **Damper operates:** Yes No
 Open joints or cracks in firebrick/panels should be sealed *Fireplace doors need repair*
- Damper Modified for Gas Operation:** Yes No N/A *Damper missing* *Pre-fab panels damaged/worn*
- Hearth Adequate:** Yes No **Mantle:** N/A Satisfactory Adequate Loose/missing
- Physical Condition:** Satisfactory Marginal Poor

STAIRS / STEPS / BALCONIES

- Satisfactory Marginal Poor None
 Stairs/steps can be hazardous when open risers/not boxed in, smooth or slick varnished or painted surfaces or carpeting. Follow-up with a building contractor to evaluate for *non-slip treads* to ensure safety. Use caution with shoes or footwear that can also pose a slip/fall hazard. Be careful when ascending and descending on staircase.
 Open risers may be potentially dangerous when designed or built with open treads
- Handrail:** Satisfactory Marginal Poor *Safety hazard* *Loose; secure properly*
- Risers/Treads:** Satisfactory Marginal Poor *Risers/Treads uneven/unsafe*

SMOKE / CARBON MONOXIDE DETECTORS (See remarks page)

- Present:** Smoke Detector: Yes No **Operates:** Yes No Not tested
CO Detector: Yes No **Operates:** Yes No Not tested

Security systems, fire suppression and the like are not part of a home inspection (see contract). Follow up with the provider for these features in home to have them inspected or evaluated.

Not tested; Should be performed by Local/State municipality prior to Occupancy.

ATTIC/STRUCTURE/FRAMING/INSULATION N/A

- Access:** Stairs Pull down Scuttle hole/Hatch *Knee wall door in craft room*
- Inspected From:** Access panel In the attic- limited view due to unsafe flooring Other
- Location:** Craft room Bedroom Hallway Garage Other
- Access Limited By:** loose boards- unsafe catwalk/recommend safe flooring for servicing HVAC and attic
- Flooring:** most not floored Partial loose board used as a cat walk- unsafe
- Insulation:** Type: fiberglass Batts Loose Average inches: 4-6 Approx. R-rating: Unknown
- Installed In:** Rafters Walls Between ceiling joists Not visible
 Recommend more ventilation- check when warmer
- Note:** Insulations in older homes may be very little or non-existent in walls, ceilings, crawl or basement; not visible where finished or inaccessible. It is always recommended to conduct an energy audit with a contractor that provides that service.
- Ventilation:** Yes No *Ventilation appears adequate* *Recommend additional ventilation*
 Maximum ventilation is always recommended to avoid shortening life of roof, avoid hot humid conditions conducive to mold growth, condensation/rusted nails/frost on sheathing & rafters, heat build-up, sheathing damage, etc. Discuss ventilation & insulation with a qualified contractor.
- Fans Exhausted To:** N/A Attic: Yes No Outside: Yes No Not visible
- HVAC Duct:** Satisfactory *loose connection- have HVAC ties added to connection* *Disconnected*
- Chimney Chase:** N/A Satisfactory *Needs repair* Not visible

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Structural Problems Observed: Yes No *Recommend repair* *Recommend Structural Engineer*

Roof Structure: Rafters Trusses Wood Metal Other

Collar Ties Present: Yes No N/A

Roof Sheathing: Plywood OSB lx Wood Cedar shingles *Rotted* *Stained* *Delaminated*

Evidence of Condensation/Moisture Leaking: *Water/moisture stains** (See remarks page)*

Mold and environmental hazards is NOT part of home inspection. Follow-up with an environmental testing contractor before closing for that type of inspection.

Ceiling Joists: Wood Metal Other Not visible

Vapor Barriers: Kraft/foil faced Plastic Not visible Improperly installed

Firewall Between Units: N/A Yes No *Needs repair/sealing (See remarks page)*

Indication of Past fire damage Yes No Recommend checking with Local fire Marshall and Township

Electrical: *Open junction box(es)* *Handyman wiring* *Visible knob-and-tube* *Loose wires/live wires*

GENERAL COMMENTS

WINDOWS/FIREPLACES/HALL/ATTIC: Recommend close ended railing for safety. The windows were a mix of types and ages and some original. The latter windows were stiff and may not have been opened for a long time; have sills, wood, hinges cleaned & lubricated. Plan and budget for repairs/replacements. A typical thermopane type window is often a 10 yrs. limited warranty from most major manufacturers. Follow up with sellers for exact age of the most recent windows and if any are under a transferrable warranty. Most windows may be near or at 10 yrs. and older. There were slope floors and canted doorways in the home. The lally columns in basement were in poor condition; blistered, exfoliation, water weeping through the rust when blisters touched, rust/corrosion on floor and columns. Columns should be maintained in rust/corrosion free painted condition; these are structural components under the main beams or girders. There were approximately 8 lally columns in basement and similar poor condition; compromised structural integrity. Recommend a structural carpenter evaluate all columns for replacement, advise on flooring and canted doorways before closing & contractual limitations. All columns should have a vapor barrier under base to prevent wicking water into the columns. There were foundation cracks visible on exterior and some in the basement. The basement was filled with boxes on floor and perimeter and well as shelving; inaccessible. Recommend a structural mason or building contractor evaluate all foundation cracks and advise on repairs when storage removed and accessible before closing & contractual limitations. Add HVAC ties on ducts where missing in attic and add proper metal duct tape where tape dried out in basement. There were loose cables or untidy; have an electrician clean up/secure loose strewn wiring in attic. Recommend a building contractor add secure flooring in attic from scuttle to HVAC equipment and ducts for servicing/maintenance. Proper chimney maintenance and cleanings are important for fire and life safety as well as maintaining the structural integrity of chimney and or fireplace if present. ***It is always recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships and when fuels have been changed from oil to gas in older homes to avoid costly repairs and ensure life safety.*** Hot humid attics will typically shorten life of roof, can potentially cause heat damage (splits, delamination, etc.) and conducive to mold/mildew.

CONCERNS:

1. The windows were a mix of types and ages and some original. The latter windows were stiff and may not have been opened for a long time; have sills, wood, hinges cleaned & lubricated. Plan and budget for repairs/replacements. A typical thermopane type window is often a 10 yrs. limited warranty from most major manufacturers. Follow up with sellers for exact age of the most recent windows and if any are under a transferrable warranty. Most windows may be near or at 10 yrs. and older.
2. There were slope floors and canted doorways in the home. The lally columns in basement were in poor condition; blistered, exfoliation, water weeping through the rust when blisters touched, rust/corrosion on floor and columns. Columns should be maintained in rust/corrosion free painted condition; these are structural components under the main beams or girders. There were approximately 8 lally columns in basement and similar poor condition; compromised structural integrity. Recommend a structural carpenter evaluate all columns for replacement, advise on flooring and canted doorways before closing & contractual limitations. All columns should have a vapor barrier under base to prevent wicking water into the columns. There were foundation cracks visible on exterior and some in the basement. The basement was filled with boxes on floor and perimeter and well as shelving; inaccessible. Recommend a structural mason or building contractor evaluate all foundation cracks and advise on repairs when storage removed and accessible before closing & contractual limitations.
3. Add HVAC ties on ducts where missing in attic and add proper metal duct tape where tape dried out in basement. There were loose cables or untidy; have an electrician clean up/secure loose strewn wiring in attic. Recommend a building contractor add secure flooring in attic from scuttle to HVAC equipment and ducts for servicing/maintenance.

BASEMENT

STAIRS

N/A

- Condition:** Satisfactory Marginal Poor Worn/ Need repair
 Have evaluated for replacement- unsafe, damaged, etc.
- Handrail:** Yes No- add railing for safety **Condition:** Satisfactory Loose/have secured
- Headway Over Stairs:** Satisfactory *Low clearance* *Safety hazard*

FOUNDATION

- Condition:** Satisfactory- *very limited view due to clutter*
 limited view due to excessive clutter on floor and perimeter
 exterior cracks visible- see siding section comments
 foundation *Cracks & missing mortar – vertical & step- very limited view due to clutter*
 *Have evaluated by structural professional to rule out any hidden damage before closing & contractual limitations**
 Obtain closed permits for finished basement as required by township/Boro/city.
 Finished basements should be properly heated/ventilated/cooled/humidity controlled to avoid mold like conditions, moisture & wood destroying insect damage, etc.

Material:

- Brick Concrete block Fieldstone Poured concrete Hollow clay tiles (1930's)

Horizontal Cracks:

- Foundation walls- water/seepage/efflorescence stains visible
 Yes No Typical not ascertainable/not visible/inaccessible*

Step Cracks:

- Yes No Typical not ascertainable/not visible/inaccessible*

Vertical Cracks:

- Yes No Typical not ascertainable/not visible/inaccessible*

Covered Walls*:

- Yes-**concealed structure*** clutter everywhere
 *Concealed areas, cluttered areas, storage/perimeter/floor, etc. are inaccessible and cannot be viewed & not readily accessible. Have the structural foundation contractor, Structure Engineer, etc. rule out any concealed cracks or structural damage before closing & contractual limitations.

Movement Apparent:

- not ascertainable- storage, clutter, inaccessible, etc.
 Have all Cracks evaluated by structural mason when clutter removed and accessible before closing

Indication of Moisture:

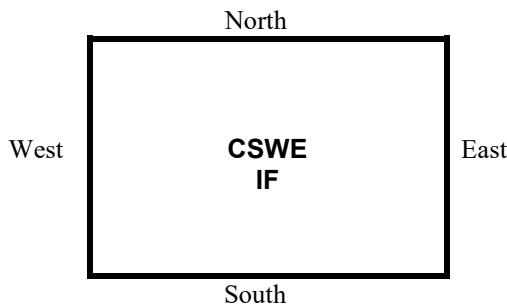
- Yes Water filled sump pit Fresh Old stains
 Efflorescence, water stains, seepage, wet conditions
 Recommend a Wet basement/crawl contractor/damp proofer evaluate for water management system(s) and advise to maintain dry conditions & structural integrity
 Exterior poor/negative grading & drainage- have corrected by grading & drainage contractor
 Gutters/roof drainage poor- have gutters evaluated/repared/replace/extend 6-8ft.
 Deck, walks, patio, hardscaping pitched toward foundation- conducive to seepage/wet conditions and potential structural damage

Condition reported above reflects visible readily accessible portion only at time of inspection- further evaluate all inaccessible areas to rule out hidden structural damage before closing & contractual limitations.

BASEMENT/CRAWL SPACE WALLS

Diagram indicates where wall not visible and type of covering:

- | | |
|---|--|
| F = Fiberglass insulation | C = Crack(s) |
| D = Drywall | W = Wet, moisture, seepage, efflorescence |
| O = Other | E = Evaluate seepage & structure |
| S = Storage | |
| I = Inaccessible structure-evaluate before closing & contractual limitation to rule out any concealed structural damage. | |



FLOOR

Material: Concrete Dirt/Gravel Not visible Flooring/slab & structure inaccessible*
 Basement cluttered- floor, perimeter storage* Other

Condition: Clutter everywhere Marginal Poor Cracks

Insulation Comments: All Crawl spaces & basements need to have proper vapor barrier(s), ventilation & insulation (between floor joists). Energy losses are not inspected or identified in a general inspection. Have an Energy audit performed on the home before closing to find areas that need improvement before closing. Contact your local Utility Company for information and Energy Audit contractors.

SEISMIC BOLTS

N/A

BASEMENT DRAINAGE

Indication of moisture: Yes Fresh Old stains Efflorescence, water stains, dark stains, etc.

Environmental Hazards: Mold, etc. are **Not part** of a NJ Home Inspection (See Standards of Practice & Pre-Inspection Agreement)

Mold & environmental inspection & testing are beyond the scope of a home inspection. Follow-up with an environmental inspection & testing company.

Basements are not intended for legal bedrooms or living spaces unless deemed by Local Township, which requires Egress compliant windows among other requirements. Have township code official evaluate any basements for purpose other than mechanicals, electrical and utilities or laundry. Living in a basement may affect overall health and breathing.

Sump Pump: Yes- **filled with water** **Tested:** Yes Working A battery backup was attached to sump pump
 Not required to test in a home inspection **Add a cover on sump for safety**
 Add dedicated outlet for safety **Have plumber pipe sump to outside; should not be piped to municipality sewer (not legal in most NJ municipalities)**

Floor Drains: Yes No Not visible Efflorescence present Recommend dehumidifier
 Recommend a condensate pump and pipe to sump pump/pit or drain- water or condensate should not be piped to perimeter of slab to avoid mold like conditions and attracting wood destroying insects

Note: Under certain unforeseen weather conditions, future moisture and water infiltration can occur even if a basement has never had moisture in the past. Observing proper grading, drainage, working gutter systems and sump pumps is imperative in helping keep a basement dry. It is strongly recommended to install a Water Management System if not already present to avoid wet or flooded basements as well as mold and structural damage.

GIRDERS / BEAMS / COLUMNS

Material: Steel Wood Block Concrete Not visible

Condition: Satisfactory Marginal Poor **Stained/rusted/corroded lally columns**
 Structure inaccessible- clutter/limited access

JOISTS

Material: Wood Steel Truss Not visible Structure inaccessible
 Engineered I-Type **Sagging/altered joists**

Condition: Satisfactory Marginal Poor

(IF CHECKED) Wood destroying insect evidence was present: Hidden damage possible. Recommend a licensed treatment company exterminate prior to closing.

SUB FLOOR

Indication of moisture stains/rotting ** Areas around shower stalls, etc., as viewed from basement or crawl space. Have a structural carpenter/building contractor evaluate extent of water damage and repair

GENERAL COMMENTS

BASEMENT (cluttered, seepage) : There were slope floors and canted doorways in the home. The lally columns in basement were in poor condition; blistered, exfoliation, water weeping through the rust when blisters touched, rust/corrosion on floor and columns. Columns should be maintained in rust/corrosion free painted condition; these are structural components under the main beams or girders. There were approximately 8 lally columns in basement and similar poor condition; compromised structural integrity. Recommend a structural carpenter evaluate all columns for replacement, advise on flooring and canted doorways before closing & contractual limitations. All columns should have a vapor barrier under base to prevent wicking water into the columns. There were foundation cracks visible on exterior and some in the basement (limited view due to clutter). The basement was filled with boxes on floor and perimeter and well as shelving; inaccessible.

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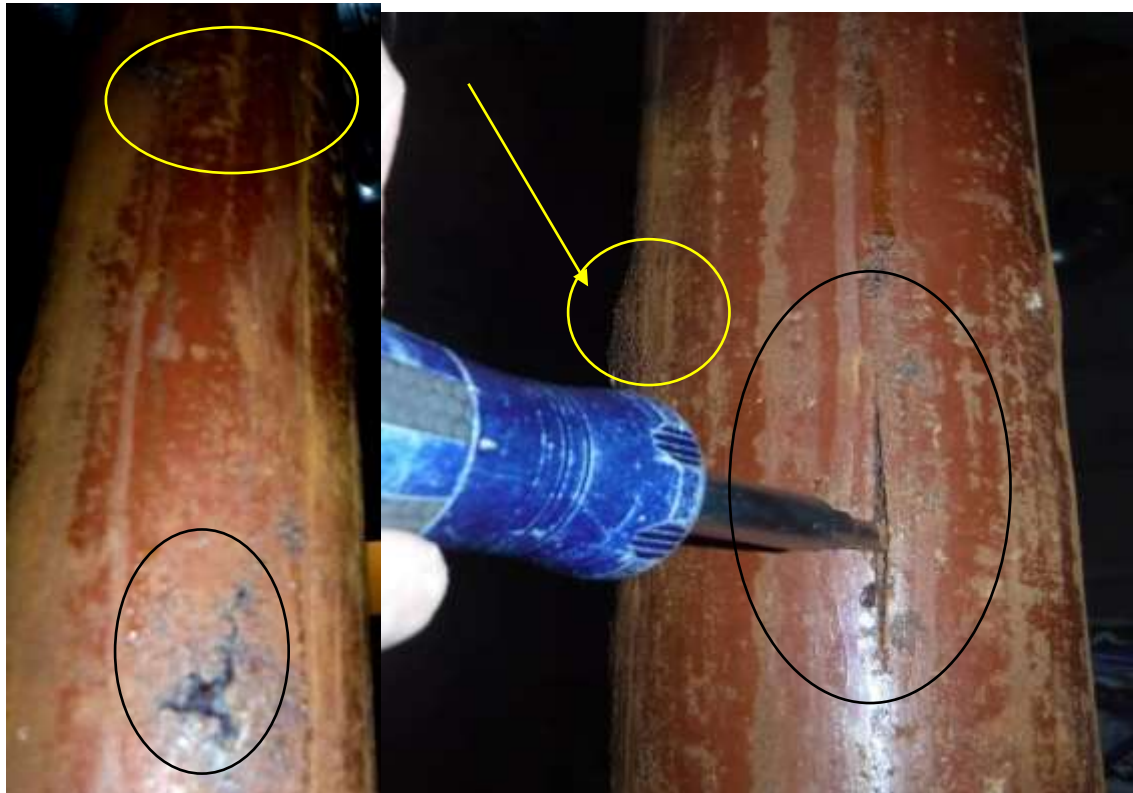
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Recommend a structural mason or building contractor evaluate all foundation cracks and advise on repairs. There was fiberglass insulation stuffed in sills around the tops of foundation; limited view/inaccessible. The basement was filled with storage, boxes, clutter, shelving, etc. on floor and perimeter. There were cracks on exterior foundation and some partially visible in the basement; limited view due to the clutter everywhere. Basement, crawl and garage shows signs of water penetration, seepage or wet conditions; efflorescence, water stains, moisture on foundation walls and around the channel on free floating slab floor. Recommend a condensate pump for the furnace and discharge to the sump pit for removal. The condensate piping from the furnace was piped to the channel in slab floor; water stains and dark staining in channel and up the lower walls. The sump pump was filled with water; sump float lifted and water removed with pump. There was a battery backup connected to the sump pump. Recommend a cover for the sump pit for safety. Consider a clear cover to view inside of sump pit. Recommend a grading & drainage contractor and wet basement/damp proofer evaluate the property and basement and advise on corrections and water management systems (ex- perimeter/French drains, dehumidifiers, exterior controls, etc.). Recommend observing proper grading and drainage on exterior to avoid water infiltration. Recommend cleaning and maintaining gutter and leaders for proper water drainage. Recommend a dehumidifier for moisture control as good practice.

CONCERNS:

- 1. Basement, crawl and garage shows signs of water penetration, seepage or wet conditions; efflorescence, water stains, moisture on foundation walls and around the channel on free floating slab floor. Recommend a condensate pump for the furnace and discharge to the sump pit for removal. The condensate piping from the furnace was piped to the channel in slab floor; water stains and dark staining in channel and up the lower walls. The sump pump was filled with water; sump float lifted and water removed with pump. There was a battery backup connected to the sump pump. Recommend a cover for the sump pit for safety. Consider a clear cover to view inside of sump pit. Recommend a grading & drainage contractor and wet basement/damp proofer evaluate the property and basement and advise on corrections and water management systems (ex- perimeter/French drains, dehumidifiers, exterior controls, etc.). Recommend observing proper grading and drainage on exterior to avoid water infiltration. Recommend cleaning and maintaining gutter and leaders for proper water drainage. Recommend a dehumidifier for moisture control as good practice.**
- 2. There were slope floors and canted doorways in the home. The lally columns in basement were in poor condition; blistered, exfoliation, water weeping through the rust when blisters touched, rust/corrosion on floor and columns. Columns should be maintained in rust/corrosion free painted condition; these are structural components under the main beams or girders. There were approximately 8 lally columns in basement and similar poor condition; compromised structural integrity. Recommend a structural carpenter evaluate all columns for replacement, advise on flooring and canted doorways before closing & contractual limitations. All columns should have a vapor barrier under base to prevent wicking water into the columns. There were foundation cracks visible on exterior and some in the basement. The basement was filled with boxes on floor and perimeter and well as shelving; inaccessible. Recommend a structural mason or building contractor evaluate all foundation cracks and advise on repairs.**

Examples of the corroded lally columns in basement (~8): heavy corrosion, blisters/weeping water from inside when pressed, exfoliation, splits on columns, rust/water drip marks, etc; compromised structural integrity on all lally columns.



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Examples of water stains, efflorescence, seepage



Examples of clutter, storage everywhere in basement:







Figure 9 Example of missing mortar; have a structural mason evaluate all cracks, missing mortar when clutter removed.

CRAWL SPACE (UNDER LAUNDRY ROOM)

CRAWL SPACE N/A Full crawlspace Combination basement/crawl space
 Conditioned (heated/cooled): Yes No

ACCESS Exterior Interior hatch door Via basement No Access or Sealed
Inspected from: Access panel In the crawl space

FOUNDATION WALLS **Condition:** Satisfactory Marginal *Have evaluated* *Monitor*
 Concrete block Poured Stone

FLOOR
 Concrete Typical cracks Storage in crawl on floor

SEISMIC BOLTS
 N/A None visible Appear satisfactory Recommend evaluation

DRAINAGE
 Outside drain Sump pump: Yes No Operable: Yes No
 None apparent **Evidence of moisture :** Yes No Recommend dehumidifier

VENTILATION Wall vents Power vents None apparent/not visible

GIRDERS / BEAMS / COLUMNS Steel Wood floor joists Masonry Not visible
Condition: Satisfactory Marginal Poor

JOISTS **Material:** Wood Steel Truss Not visible
 Engineered I-Type *Sagging/altered joists/patched handyman*
Condition: Satisfactory Marginal Poor

(IF CHECKED) Wood destroying insect evidence was present: Hidden damage is always possible. Recommend a licensed treatment company exterminate prior to closing.

SUB FLOOR Not visible Wood Concrete Other

MOISTURE STAINS None Walls- foundation/seepage/efflorescence Sub floor Other
 Mold & environmental inspection & testing is beyond the scope of a home inspection.
 Follow-up with an environmental inspection & testing company for that service.

INSULATION None **Type: ---**
Location: Walls Between floor joists All Crawl spaces & basements need to have proper vapor barrier(s), ventilation & insulation (between floor joists). Energy losses are not inspected or identified in a general inspection. Have an Energy audit performed on the home before closing to find areas that need improvement before closing. Contact your local Utility Company for information and Energy Audit contractors.

VAPOR BARRIER Yes Concrete floor
 Kraft/foil face Plastic Other Not visible

BASEMENT/CRAWL SPACE WALLS

Diagram indicates where wall not visible and type of covering:
 P = Paneling C = Crack(s)
 D = Drywall M = Monitor
 S = Storage E = Evaluate
 W = Water stains/seepage/efflorescence

GENERAL COMMENTS
CRAWL SPACE (small areas under laundry room): There was efflorescence and water/moisture stains on walls in crawl space, basement and garage. See seepage comments in report.

PLUMBING

WATER SERVICE

Main Shut-off Location: basement

All home will have plumbing repairs/upgrades at some point- monitor plumbing

Water Entry Piping: Not visible Copper/Galv. **Plastic*** (PVC, CPVC, Polybutylene, PEX) Unknown

Visible Water Distribution Piping: Copper Galvanized **Plastic*** (PVC, CPVC, Polybutylene, PEX) Unknown

Condition: Satisfactory Marginal Poor

Lead Other Than Solder Joints: Yes No Unknown Service entry

Functional Flow: Adequate Low Calcium/mineral build up on fixtures **Water pressure over 80 psi; high**

Pipes, Supply/Drain: **Corroded/ Leaking/oozing at corrosion under kitchen sink** **Valves broken/missing**

Drain/Waste/Vent Pipe: Copper Cast iron Galvanized PVC ABS

Condition: Satisfactory Poor- drain basket under kitchen sink **Cross connection:** No

Support/Insulation: Type: **foam insulation on some piping**

Traps Proper P-Type: N/A Yes No; some S-type or other **P-traps recommended**

Functional Drainage: Adequate Poor- upper bathroom **Recommend plumber evaluate drainage in home**

Interior Fuel Storage System: Yes No Leaking: Yes No

Gas Line: Copper Brass Black iron Stainless steel Flexible CSST (yellow) Not visible

Condition: Satisfactory Marginal Poor

NOTE: T-Valves, ball valves, gate valves or any shut off valves, are not tested in a New Jersey home inspection.

MAIN FUEL SHUT-OFF LOCATION FIXTURES IN HOME

Gas meter outside N/A

All plumbing and upgrades must be installed by licensed plumber and with permits when renovated.

Note: Fixtures in home are not inspected for product brand, quality, manufacturer, expected life or predicted failure. Fixtures are tested for adequate flow, adequate drainage and any noted leaks or corrosion at time of inspection. If brand and life service is a concern, obtain information and warranty from sellers before closing.

WELL PUMP

N/A Submersible

Well system and water testing not part of NJ home inspection. Well inspection and water testing should be conducted prior to closing.

SANITARY / GRINDER PUMP

N/A

WATER HEATER #1

N/A

Condition: Satisfactory Obtain closed permits

Brand name: Rheem

Type: Gas Electric Oil Other

Unit Elevated: Yes No N/A **Tank/Piping corroded/leaking**

Capacity: 40 gallons Approximate age: 4+ yrs.,. (mfg. Aug.6th- 2014)

Combustion Air Venting Present: Yes No N/A Seismic restraints needed: Yes No N/A

Relief Valve: Yes No **Extension proper:** Yes No **Missing** **Recommend repair**

Vent Pipe: N/A Satisfactory Pitch proper **Improper** **Rusted** **Recommend repair**

WATER SOFTENER

(Unit not evaluated) **N/A-** recommended when hard water in home or calcium/mineral build up

Loop Installed: Yes No **Plumbing Hooked Up:** Yes No

Softener Present: Yes No **Plumbing Leaking:** Yes No

NOTE: Homes with hard water will often need a water softener system to avoid damaging mineral buildup or corrosion to plumbing supply lines, drains and fixtures. Confer with a water softener company and plumber if there is hard water in the home. Testing for hard water is not part of an inspection. If a home is left vacant for a period of time, it can clog fixtures resulting in loss of flow, hot or cold water. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time even after an inspection. Get the water tested by a water softener company and fixtures evaluated by a licensed plumber before closing. Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. Have plumber upgrade older plumber in home. Plumbing code or any other code inspection in NOT performed in a general home inspection. Seek out a licensed plumber or township code officer for that type of inspection.

GENERAL COMMENTS

PLUMBING: There was slow drainage in upper bathroom. There was calcium/mineral deposits on fixtures or plumbing in the home; indicative of hard water. There was heavy corrosion on the drain basket/garbage disposer connector; have a plumber replace. Recommend a licensed plumber evaluate corrosion under kitchen sink, drainage in upper bathroom and calcium/mineral deposits on fixtures. Recommend having water tested for hardness. Note that fixtures, drains and pipes may clog, leak or back-up when a home is left vacant for a period of time and if there is hard water in home. Homes with hard water will often need a water softener system to avoid damaging mineral buildup or corrosion to plumbing supply lines, drains and fixtures. Confer with a water softener company and plumber if there is hard water in the home. Testing for hard water is not part of an inspection. If a home is left vacant for a period of time, it can clog fixtures resulting in loss of flow, hot or cold water. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time even after an inspection. Get the water tested by a water softener company and fixtures evaluated by a licensed plumber before closing. Discuss water descaler units with a licensed plumber to help control hard water (ex- scale buster, eddy, Vulcan, etc. among others on market). Recommend a camera inspection of sewer lines to rule out cracks, roots, obstructions or damage; follow-up with a plumbing or a Roto-rooter type company. Recommend maintaining water & sewer main line insurance to help defray costs of main line repairs. Check with the local utilities or Water Company for participating insurers if available. Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such as galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. Have plumber upgrade older plumbing in home. Plumbing code or any other code inspection is NOT performed in a general home inspection. Seek out a licensed plumber or township code officer for that type of inspection. All homes will need plumbing repairs (leaks, clogs, corrosion, upgrades, repairs, etc.) at any time in the life of the home. Plan and budget for these repairs and upgrades. Only a licensed plumber should make these repairs.

CONCERNS:

1. **There was slow drainage in upper bathroom. There was calcium/mineral deposits on fixtures or plumbing in the home; indicative of hard water. There was heavy corrosion on the drain basket/garbage disposer connector; have a plumber replace. Recommend a licensed plumber evaluate corrosion under kitchen sink, drainage in upper bathroom and calcium/mineral deposits on fixtures. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time. Recommend having the water tested by a water softener company and fixtures evaluated by a licensed plumber before closing to ensure proper flow/water pressure and drainage.**

HEATING**HEATING SYSTEM - UNIT #1** Location: **attic & basement**

(See remarks page)

- Brand name: Goodman- attic Approximate age: 10+ year(s) ~2007
 Brand name: Goodman - basement Approximate age: 8+ year(s) ~2010
- Ducts:** Have ducts cleaned **Energy Source:** Gas LP Oil Electric
- Warm Air System:** Belt drive Direct drive Gravity Central system Floor/Wall unit
Heat Exchanger: N/A (sealed) Visual w/mirror Flame distortion Rusted Carbon/soot buildup
Carbon Monoxide: N/A Detected at Plenum/Register Not tested
CO Test: Yes No **Combustion Air Venting Present:** Yes No N/A
Controls: Disconnect: Yes No Normal operating and safety controls observed
Distribution: Metal duct Insul. flex duct Loose connections, dried out duct tape (packaging type/not for ducts)- add duct ties and/or proper class I flex duct tape
 Internal inspection of ducts and removal of registers, plenum, grilles, vents, etc. is NOT part of inspection; beyond the scope of a visual home inspection. Follow-up with a duct cleaning contractor for cleaning /HVAC contractor for internal inspection to rule out any unhealthy conditions (ex- mildew, mold, etc.) as well as corrosion, internal conditions, etc. before closing & contractual obligations. Environmental inspections (mold, mildew, asbestos, etc.) is beyond the scope of a home inspection.
- Flue Piping:** PVC Rusted Improper slope Safety hazard
Supports for Piping/Insulation: N/A Yes No
Filter: Standard Electrostatic Satisfactory Needs cleaning/replacement Missing
When Turned On By Thermostat: Fired Did not fire Proper Operation: Yes No Not tested
Heat Pump: Aux. electric Aux. gas N/A **Sub-Slab ducts:** Yes No N/A
System Not Operated Due To: Exterior temperature Other Recommend testing prior to closing
 Recommend technician examine all HVAC (heating & cooling) systems yearly
- System Condition:** Satisfactory Marginal older
- Recommend HVAC technician examine yearly, obtain township code inspections for Fire and HVAC sub codes prior to closing. The inspection is not required to determine heat supply adequacy or distribution balance for the home or building. Have an HVAC contractor or boiler contractor evaluate the adequacy and required size needed before closing.
- Recommend having all HVAC (heating & cooling) systems serviced & maintained yearly

OTHER SYSTEMS N/A Electric baseboard Radiant ceiling cable**GENERAL COMMENTS**

HEATING: Recommend a property tank sweep to rule out any possibility of buried oil tank before closing and contractual limitations. Recommend a vent screen PVC exhaust/vent for the furnace to keep out animals, etc. Recommend changing filters on furnace in basement (16x25x1") and in the ceiling hallway (14x30x1") for the attic furnace. Always point the arrow on filter towards the furnace unit as indicated on packaging. Recommend a carpenter evaluate the attic and advise on repairs or installation of a safe catwalk to access the furnace (for servicing & maintenance of the HVAC); unsafe flooring/footing in attic. There were several registers closed in rooms of the house; recommend opening for proper heat flow & distribution in the home. The furnaces were older; 11 and 8 yrs. old.; a typical manufacturers warranty is often 10 yrs limited with most major manufacturers. Ask if furnaces are under a transferrable warranty. Plan and budget for repairs/replacements of systems. Add HVAC ties on ducts where missing in attic and add proper metal duct tape where tape dried out in basement. The PVC condensate piping was discharging into the channel of the free floating slab floor; water & slime in the channel. Recommend a condensate pump and discharge to the sump pump to remove water out of the basement. There was a humidifier on furnace in basement; not part of inspection. Follow up with an HVAC contractor for servicing and filters changes. Do not run this unit in summer or it will add moisture in ducts and potential for mold like growth. Do not go over 30-35% for the same reason. Recommend having furnaces serviced along with the cooling systems yearly. Plan and budget for repairs & replacements due to age of systems. Change batteries in thermostats yearly.

CONCERNS:

1. Recommend opening up registers in all rooms; several were closed.
2. Recommend having the HVAC (heating & cooling) serviced & maintained. The units were approximatley 8 and 11 yrs. old. A typical manufacturers warranty if often 10 yrs. limited warranty; ask if these are under a transferrable warranty. Obtain closed permits for these systems as required by the township.
3. Recommend a carpenter evaluate the attic and advise on repairs or installation of a safe catwalk to access the furnace (for servicing & maintenace of the HVAC); unsafe flooring/footing in attic.
4. Add HVAC ties on ducts where missing in attic and add proper metal duct tape where tape dried out in basement. The PVC condensate piping was discharging into the channel of the free floating slab floor; water & slime in the channel. Recommend a condensate pump and discharge to the sump pump to remove water out of the basement.
5. Recommend a vent screen PVC exhaust/vent for the furnace to keep out animals, etc.



Figure 10 Example of loose ducts ; recommend adding HVAC strapping/ties where needed in the attic/basement/home.

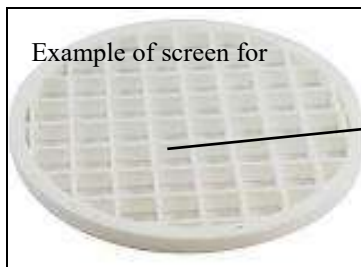


Figure 11 Recommend a vent screen PVC exhaust/vent for the furnace to keep out animals, etc.

COOLING

COOLING SYSTEM – UNIT #1

Central system Wall Unit Location: **outside** Age: **8 & 11 yrs.**
Energy Source: Electric Gas Water Other
Unit Type: Air cooled Water cooled Gas chiller Geothermal Heat pump
Evaporator Coil: Satisfactory Not visible Needs cleaning Damaged
Refrigerant lines: *Leak* *Damage* *Insulation missing* Satisfactory
Condensate Line/Drain: To exterior To pump Floor - channel in slab Laundry sink Other
Temperature Differential : Unit 1 ??? °F Unit 2 ??? °F

Difference in temperature (split) should be 15-22° Fahrenheit *(See remarks page)*

Compressor Condition: Older Marginal Poor Rusted Damaged

Operation: Satisfactory: Yes No **Not operated due to exterior temperature**

Recommend HVAC technician examine/clean/service yearly

Note: If present, through wall and window A/C units produce moisture and may potentially leak into interior walls and window openings. This moisture can cause damage to adjacent structural members. The damage is often not visible and can go undetected unless the A/C unit(s), wall coverings, flooring and siding are removed. Such removal is not feasible during a home inspection and therefore is limited or not possible to see inside of walls. Further investigation is always recommended to rule out water or condensation damage. Units should be removed periodically to inspect inside of walls.

GENERAL COMMENTS

COOLING : The A/C condensing units were older or 8 and 11 yrs. A typical manufacturer's warranty is often a 10 yr. limited warranty depending on the manufacturer and product installed. Follow up with manufacturer to see the warranty and if transferrable. Recommend planning & budgeting for repairs & replacement due to ages. The cooling system or A/C cannot be operated in winter to avoid damage to the system and condenser. Test system in warmer weather when seasonal and able to test and before closing. The coolant system should be checked before cooling season for leaks and proper coolant levels every year; coolant can leak out and fittings loosen after winter.

CONCERNS:

1. The A/C condensing units were older or 8 and 11 yrs. A typical manufacturer's warranty is often a 10 yr. limited warranty depending on the manufacturer and product installed. Follow up with manufacturer to see the warranty and if transferrable. Recommend planning & budgeting for repairs & replacement due to ages.
2. A/C cannot be tested in winter.

ELECTRICAL

MAIN PANEL Location: **basement** Condition: Satisfactory Marginal Poor
Adequate Clearance To Panel: Yes No Amperage: **200** Volts 120/240 Breakers Fuses
Appears Grounded: Yes No Not visible
G.F.C.I. present: Yes No **Operative:** Yes No
A.F.C.I. present: Yes No **Operative:** Yes No
MAIN WIRE: Copper Aluminum Copper clad aluminum Tin clad copper Not visible
 Tapping before the main breaker *Double tapping of the main wire*
Condition: Satisfactory Poor **Federal Pacific Panel Stab Lok® (See remarks page)***
Predominant BRANCH WIRE: Copper Aluminum* Copper clad aluminum Not visible
Condition: Satisfactory Poor **Recommend electrician evaluate/repair***
 Romex BX cable Conduit **Knob & tube****
 Read **REMARKS** addendum to report- "tripping breakers"

SUB PANEL(S) None apparent Breakers
 100 amp breaker in sub panel and 100 amp feeder breaker in main panel for sub panel

Location 1: **basement**

Predominant Branch Wire: Copper Aluminum Copper clad aluminum
 Neutral/ground separated: Yes No Neutral isolated: Yes No **Safety hazard**
Condition: Satisfactory Marginal Poor **Recommend separating/isolating neutrals**

ELECTRICAL FIXTURES

A representative number of installed lighting fixtures, switches, and receptacles located inside the house, garage, and exterior walls were tested and found to be:

Condition: Satisfactory Marginal Poor Not accessible, clutter, furniture
 Open grounds Reverse polarity GFCIs not operating
 Solid conductor aluminum branch wiring circuits* (See remarks page)
 Ungrounded 3-prong outlets **Recommend electrician evaluate/repair***

GENERAL COMMENTS

ELECTRICAL: The original main panel was 100amp and is now the sub panel (old permit from 6-5-1986 on panel). A newer panel was installed to the left of the old main panel and a Twp. sticker on dated 5-15-1992. There was a 50A breaker in main panel in "off" position and labeled hot tub and not connected to wiring (no longer on property). The fan in the half bath did not go on with the wall switch; further evaluate. There were loose cables or strewn in attic; have secured and cleaned up for safety. Recommend a licensed electrician evaluate electrical concerns and make repairs/corrections. The electrical service entry should have putty replaced whenever cracked to maintain water tight seals and avoid water entry into the electrical panel. Each family has different electrical requirements or needs. If more power is needed, discuss needs with electrician and have added. Do not use extension cords, multiplier adapters or power strips to add more power; fir safety concern. If a breaker or circuit is tripped more than once, it is recommended to have an electrician evaluate circuits and have items separated by a licensed electrician. Items such a sump pumps, garage door openers, A/C units, stoves refrigerators or other heavy draw appliances should be on separate dedicated circuits.

CONCERNS:

1. **The fan in the half bath did not go on with the wall switch; further evaluate. There were loose cables or strewn in attic; have secured and cleaned up for safety. Recommend a licensed electrician evaluate electrical concerns and make repairs/corrections.**